

Cherubs Nursery School

Contact Information

Owner Cherubs Nursey School Contact: Rafael Vergara 3704 S Ferdinand St Seattle, WA 98118 cherubswa@gmail.com	Architect Ryan Rhodes Designs, Inc. Contact: Michael Smith 303 Nickerson St Seattle, WA 98109 206.632.1818 msmith@raarch.com	Structural L120 Engineering & Design Contact: Harrison Kliegl hkliegl@l120engineering.com 425.636.3313 x712
LEED / Mechanical Joshua Reyneveld Seattle Wa 98109 jreyneveld@icloud.com 206.302.6347	Contractor BMDC Contact: Kurt Trester 2600 West Commodore Way, Suite 2, Seattle, WA 98199 kurt@belottimcough.com 206.465.5766	

Project Information

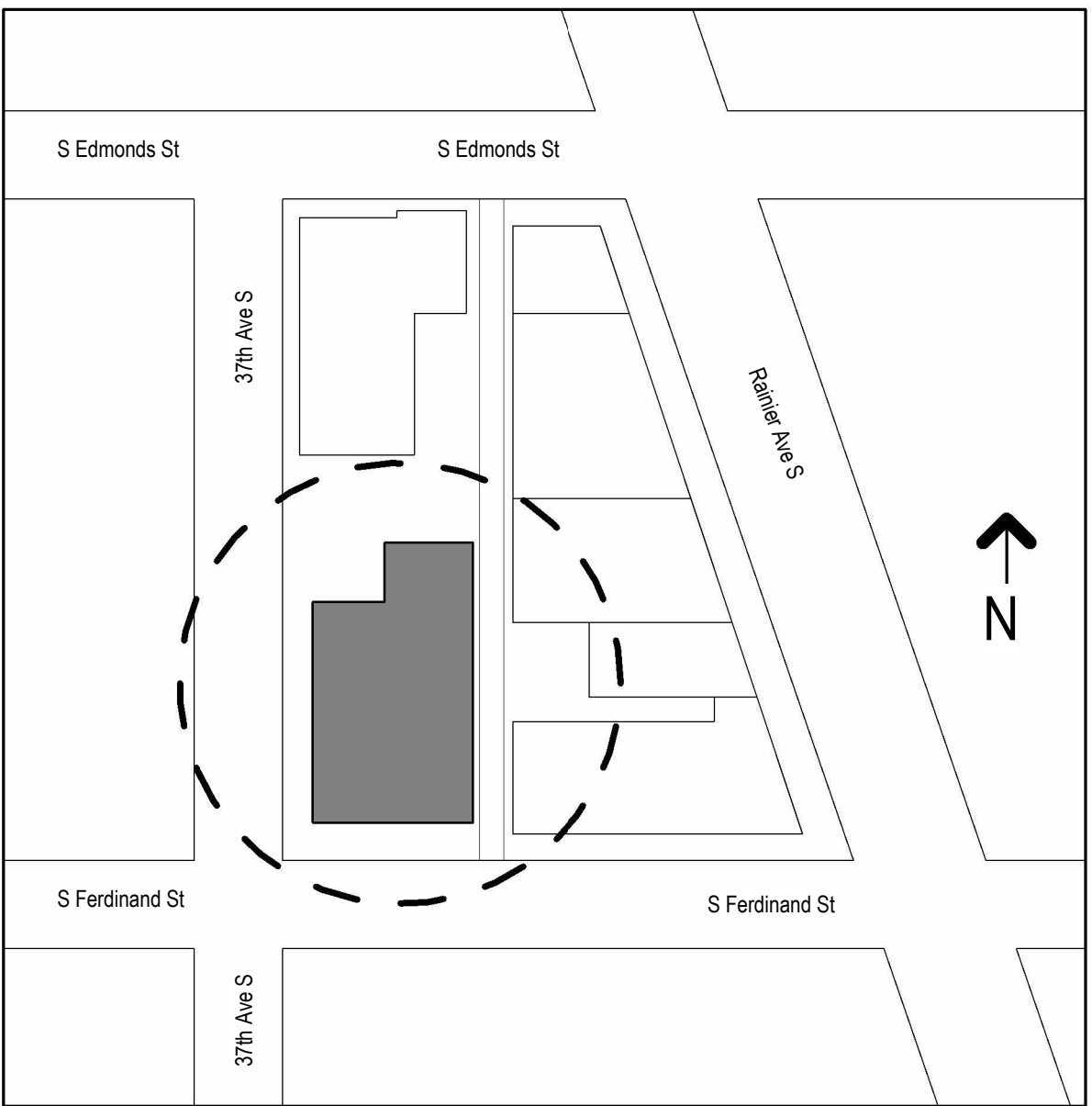
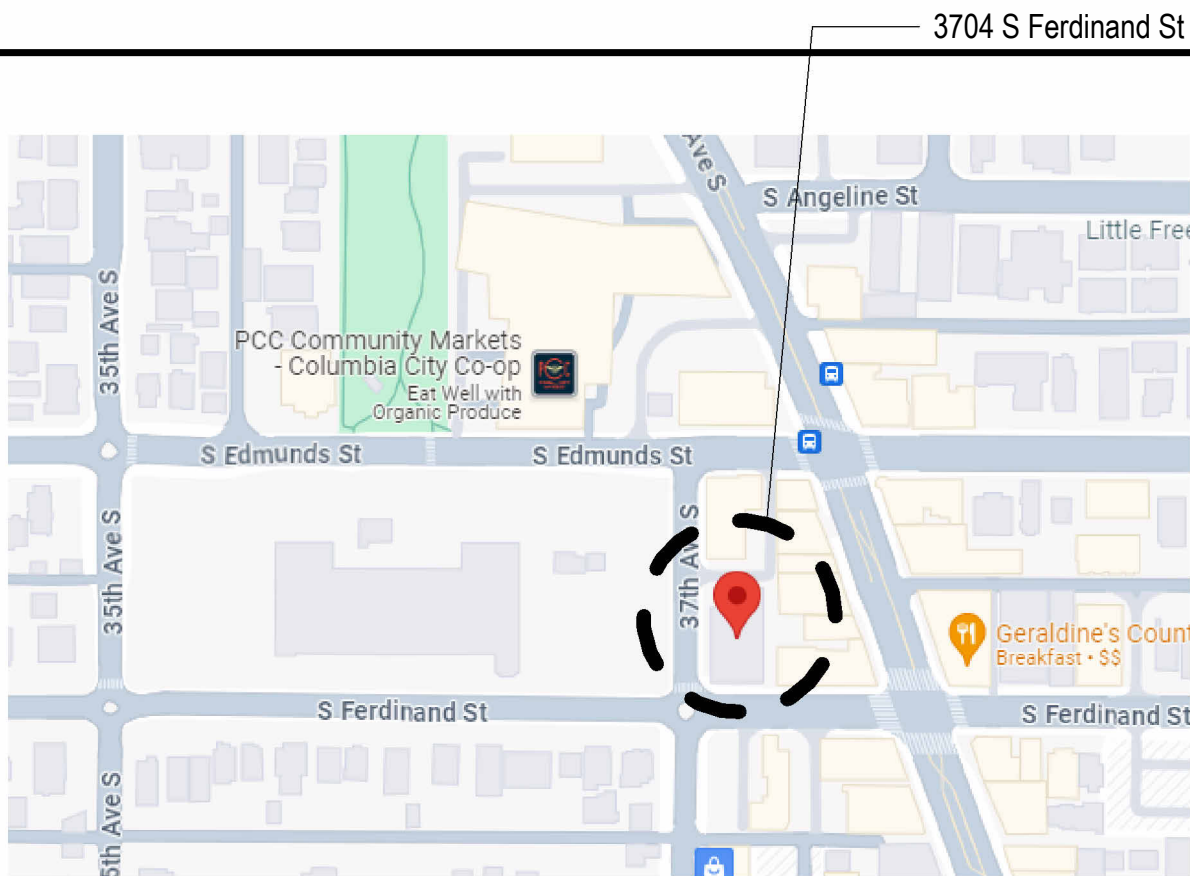
SDCI Project No:	7009097-CN	Zone:	NC3-40
Assessor Parcel No:	1702900910	Lot Size:	6600sf (.15 ac)
Project Address:	3704 S Ferdinand St	Scope:	Change of use (M to I4) Full interior renovation Establish child care facility
Legal Description:	Columbia Block 8 Lot 219-220		

Project / Code Summary

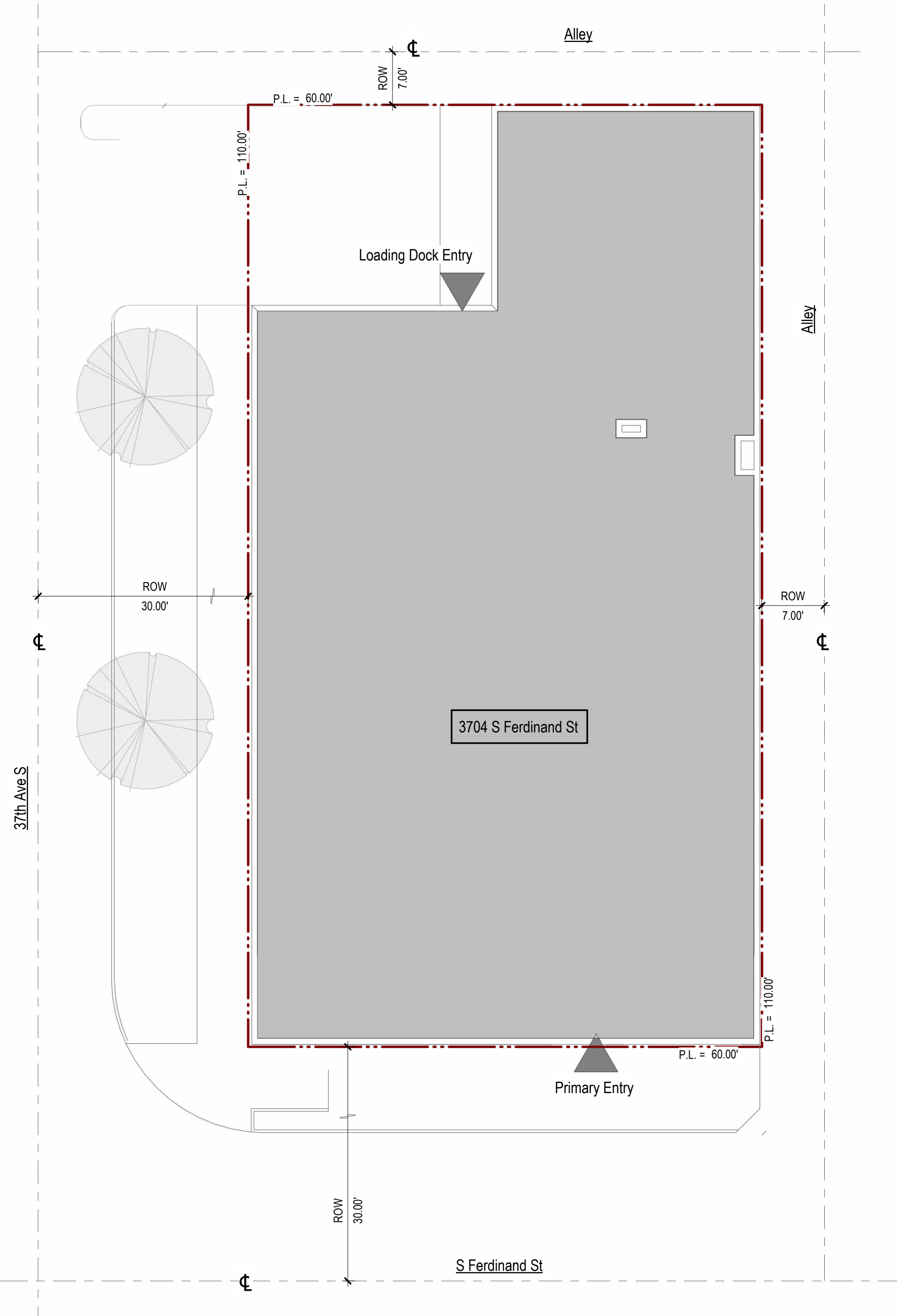
Seattle Building Code	2018 Edition
Seattle Existing Building Code	2018 Edition
Seattle Mechanical Code	2018 Edition
Seattle Fuel Gas Code Code	2018 Edition
Seattle & National Electrical Code	2018 Editions
Seattle Energy Code	2018 Edition
Seattle Plumbing Code	2018 Edition

Zoning Code Summary

Zone:	NC3-40
Zoning Overlays:	Columbia City Landmark District Southeast Seattle Reinvestment Area Urban Center/VillageMIC - Columbia City Frequent Transit Service Area
Environmental:	Liquefaction Prone Landfill (Historical)
Current Use:	C.11 c Retail sales, major durables
Proposed Use:	Table A for 23.47A.004 E.5 Institutions - Child care center (I-4) Use Permitted per Table A for 23.47A.004
Required Vehicle Parking:	Table C for 23.54.015 I.B. - Child Care Center II.Q. - Urban Center - No Minimum Requirement
Required Bicycle Parking:	Table D for 23.54.015 B.2 - Child Care Center Long term - 1 per 4000sf - (5682/4000 = 2 spaces min) Short term - 1 per 20 Children (2 spaces min) 84 children proposed / 20 = 6 spaces per K.1
Loading / Unloading:	Table A for 23.54.035 Institution - Low Demand Low demand GFA<16000sf 1 Loading Required Loading provided in alley per 23.54.035 A.B.1



Site Locus



1 Existing Site Plan
3/32" = 1'-0"

NPS Form 10-900a (Rev. 9-86) OMB No. 1024-0018

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 5 of 29 Columbia City Historic District, King County, WA

ID#	Address	Street	Building Name	Rank	Built
1	3515	S Alaska St	Fifth Church of Christ Scientist / RVCC	Historic Contributing	1921
2	4723	36th Ave S	Town Homes	Non-Hist. Non-Contributing	1992
3	4729	36th Ave S	Rosby - Garrison House	Historic Non-Contributing	1905
4	4731	36th Ave S	Evans Rental House	Historic Contributing	1933
5	4735	36th Ave S	New Construction	Non-Hist. Non-Contributing	2004
6	4739	36th Ave S	New Construction	Non-Hist. Non-Contributing	2004
7	4743	36th Ave S	Floyd Riggs House	Historic Contributing	1912
8	4747	36th Ave S	Dodge - Elliott House	Historic Contributing	1902
9	4753	36th Ave S	Elliott, Thomas & Nina, House	Historic Contributing	1925
10	4757	36th Ave S	Rodia - Elliott House	Historic Contributing	1907
11	3518	S Edmonds St	Columbia Baptist Church / Church of Christ	Historic Contributing	1907
12	4701	Rainier Ave S	Columbia Park / Columbia Green	Historic Contributing	1891
13	4721	Rainier Ave S	Columbia Branch Library	Historic Contributing	1915
14	4739	Rainier Ave S	Hasegawa Professional Building	Non-Hist. Non-Contributing	1959
15	4801	Rainier Ave S	Tradewell Market / Columbia Plaza	Non-Hist. Non-Contributing	1957
16	4811	Rainier Ave S	SeaFirst Bank / Bank of America	Non-Hist. Non-Contributing	1959
17	3528	S Ferdinand St	Columbia School / Orca at Columbia	Historic Contributing	1922
18	3701	S Edmonds St	Columbia City Parcel & Post	Non-Hist. Non-Contributing	1959
19	4851	Rainier Ave S	Rector's	Historic Contributing	1911
20	4855-59	Rainier Ave S	Calvert Baker / La Medusa - Little City Hall	Historic Contributing	1927
21	4861	Rainier Ave S	Nelson's Butcher Shop / Bob's Qual. Meats	Historic Contributing	1892
22	4863-65	Rainier Ave S	Phalen Hall / Pet Elegance	Historic Non-Contributing	1892
23	4869	Rainier Ave S	Columbia Confectionery / The Wellington	Historic Contributing	1928
24	4871-75	Rainier Ave S	Rainier Valley Investment Company	Historic Contributing	1913
25	3704	S Ferdinand St	Soreano's Plumbing	Non-Hist. Non-Contributing	1953
26	4901-03	Rainier Ave S	Hastings Building	Historic Non-Contributing	1905
27	4909	Rainier Ave S	Hepke Block	Historic Contributing	1908
28	4915	Rainier Ave S	Boar's Nest / Angie's Tavern	Historic Contributing	1905
29	4923	Rainier Ave S	Columbia Precinct (3722 S Hudson St)	Historic Contributing	1926
30	4918	Rainier Ave S	Skaggs Safeway / Tutta Bella	Historic Contributing	1928
31	4916	Rainier Ave S	Columbia Theater	Historic Contributing	1920
32	4914	Rainier Ave S	Columbia Cafe / Columbia City Ale House	Historic Contributing	1914
33	4910	Rainier Ave S	Rainier Valley Barber Shop	Historic Contributing	1926
34	4906-08	Rainier Ave S	Weed Building	Historic Contributing	1908
35	4900	Rainier Ave S	Columbia Hotel / Lottie Mott's	Historic Contributing	1892
36	3811	S Ferdinand St	Peirson Apartment Building	Historic Contributing	1908
37	3815	S Ferdinand St	Pearson, Van R. and Agnes, House	Historic Contributing	1891
38	3806	S Ferdinand St	Columbia Motor Company	Historic Contributing	1921
39	4868-72	Rainier Ave S	Dodge Building / Ferdinand Street Building	Historic Contributing	1908
40	4864	Rainier Ave S	Columbia Department Store	Historic Contributing	1910
41	4860	Rainier Ave S	Grayson & Brown Building	Historic Contributing	1908
42	4850	Rainier Ave S	Toby Building	Historic Contributing	1903
43	3806	S Edmonds St	Fasca Building	Historic Non-Contributing	1924
44	4820-24	Rainier Ave S	Rainier Valley State Bank / Starbucks	Historic Contributing	1922
45	4812	Rainier Ave S	Ark Lodge #126 F&AM	Historic Contributing	1921

project
24-02
number

Renovation for
Cherubs Nursery School
3704 S Ferdinand St
Seattle WA 98118

Issue	#	REVISION	DATE
	1	DOV Review	Dec 23 2024
	2	DOV Review	Feb 11 2025
	3	DOV Review	Mar 26 2025
	4	DOV Review	April 22 2025

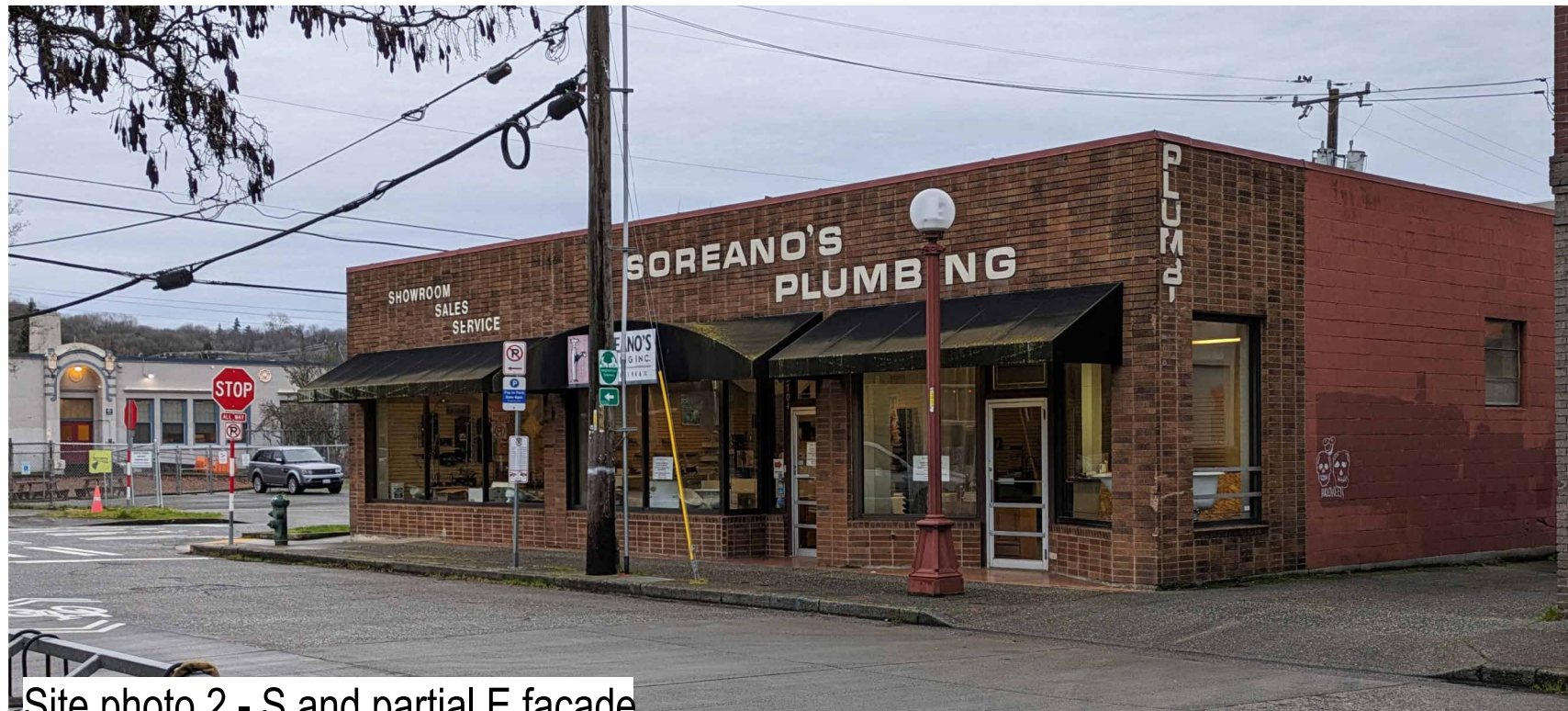
Permit
Title Sheet / Site Plan

Dec 24 2024

sheet
DON 0.0
number



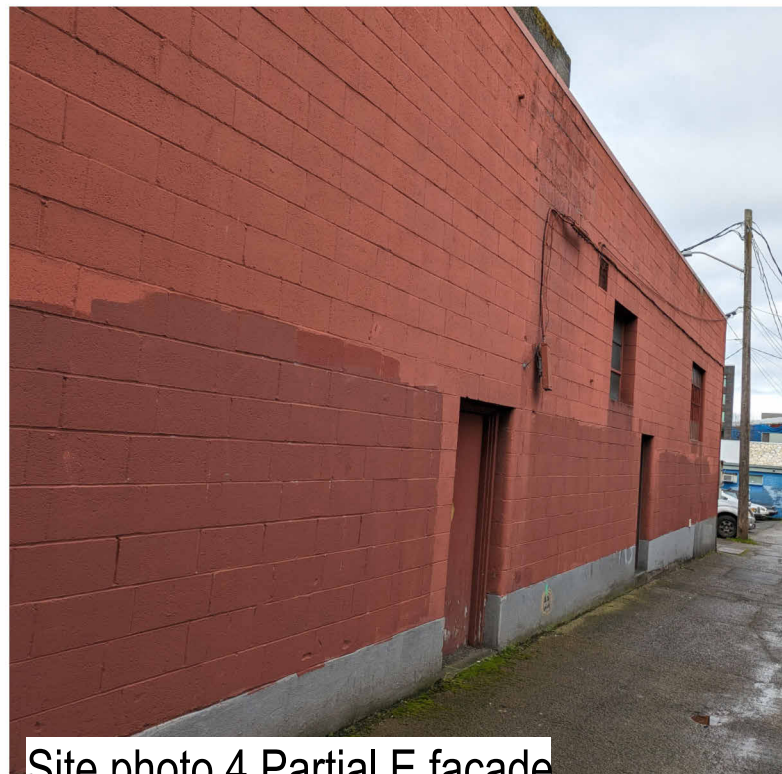
Site photo 1 - S and partial W facade



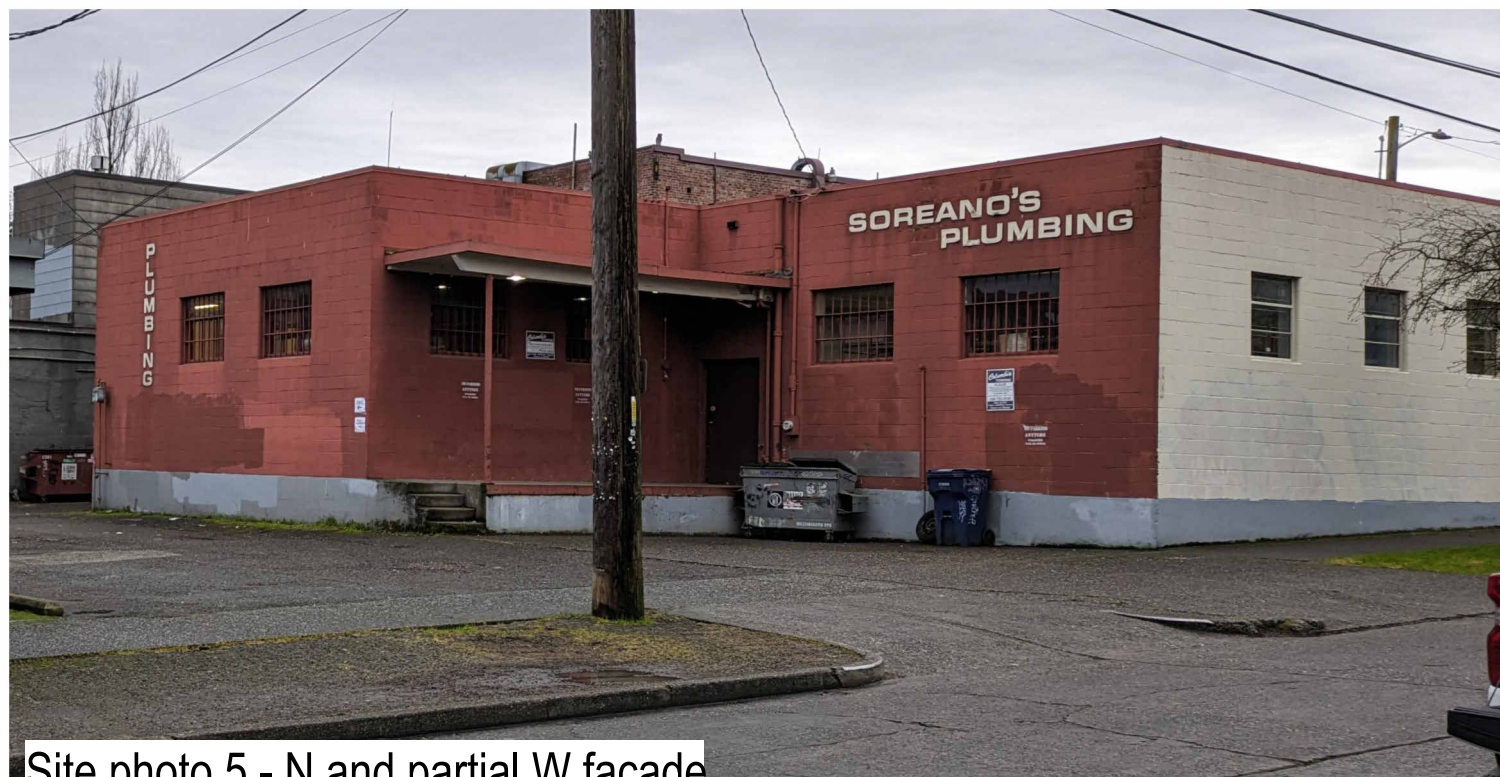
Site photo 2 - S and partial E facade



Site photo 3 - E facade



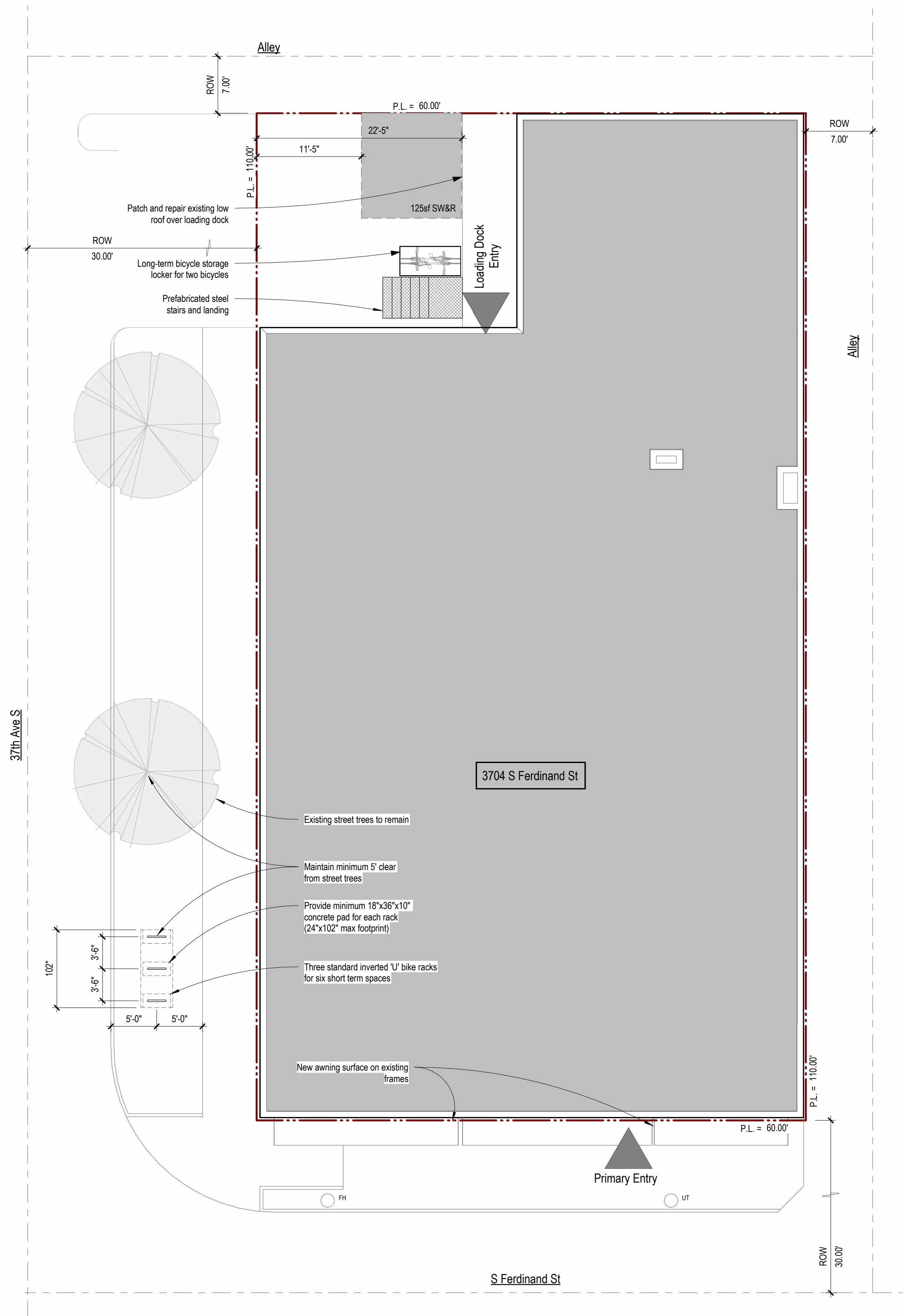
Site photo 4 Partial E facade



Site photo 5 - N and partial W facade

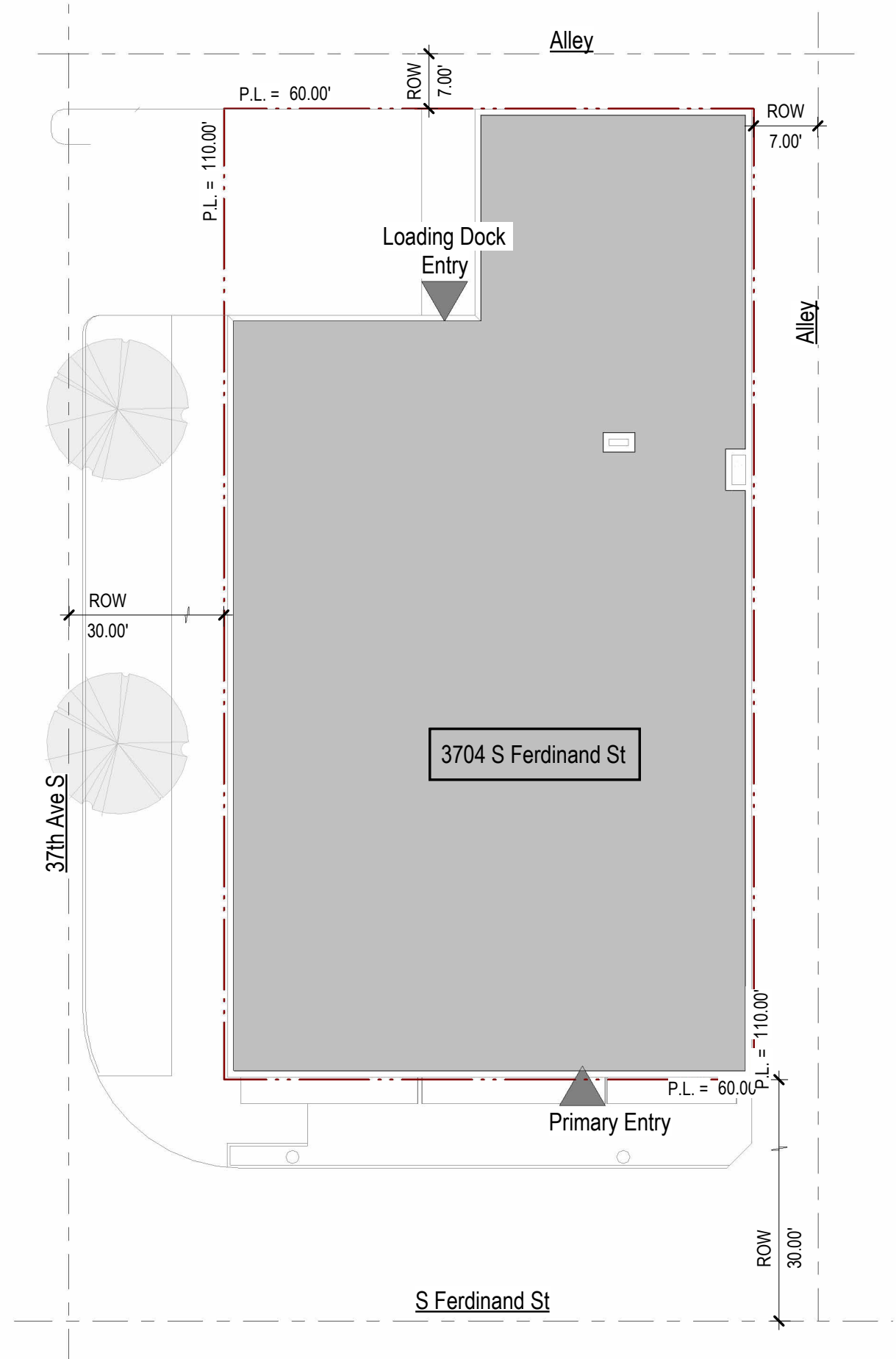
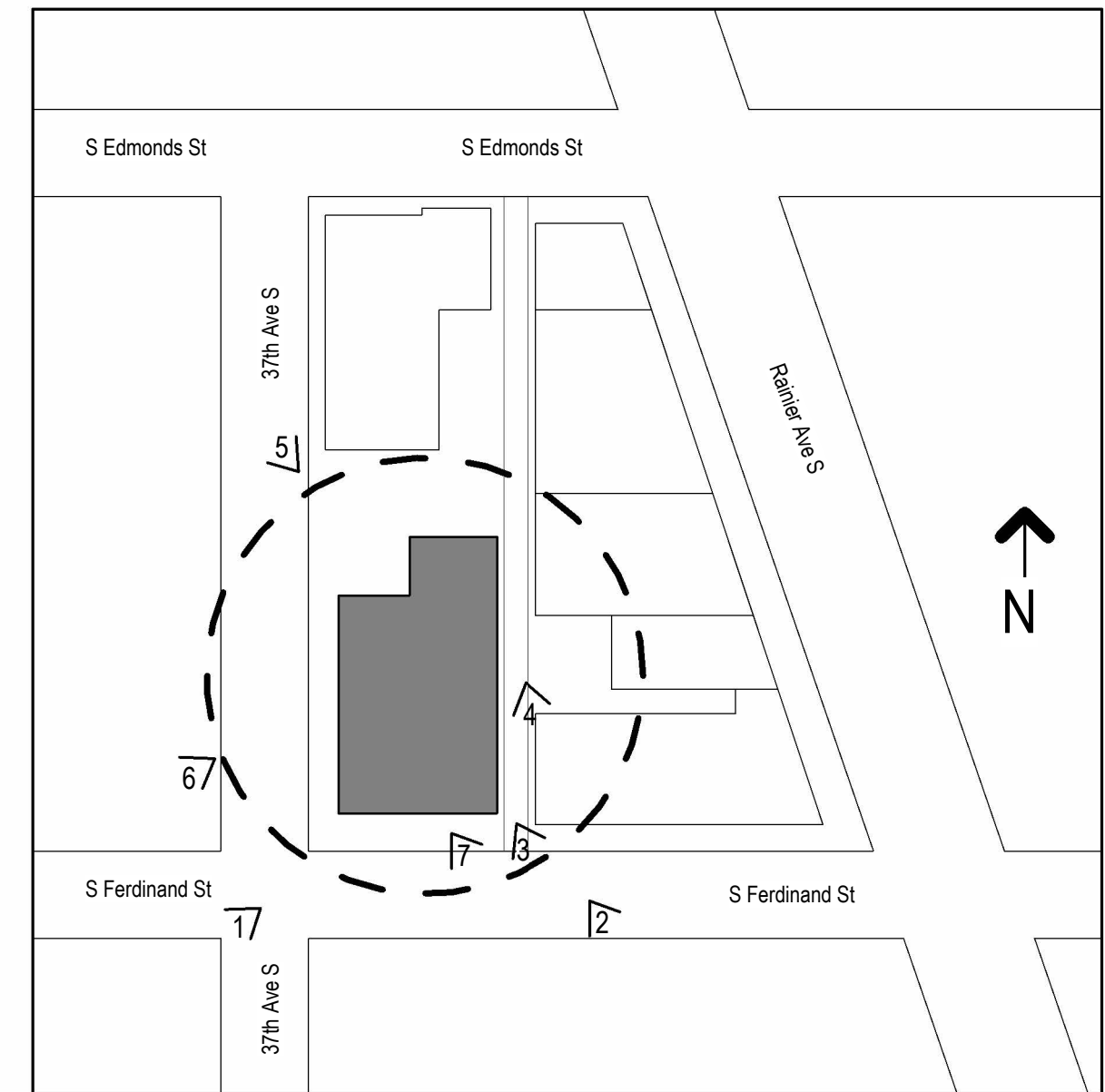


Site photo 6 - Partial W facade

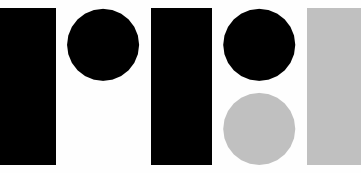


1 Site Plan
1/8" = 1'-0"

Site Locus



2 Existing Site Plan
1/16" = 1'-0"



RYAN RHODES DESIGNS

303 Nickerson Street | Seattle, WA
ryanhodesdesigns.com | 206.632.1818

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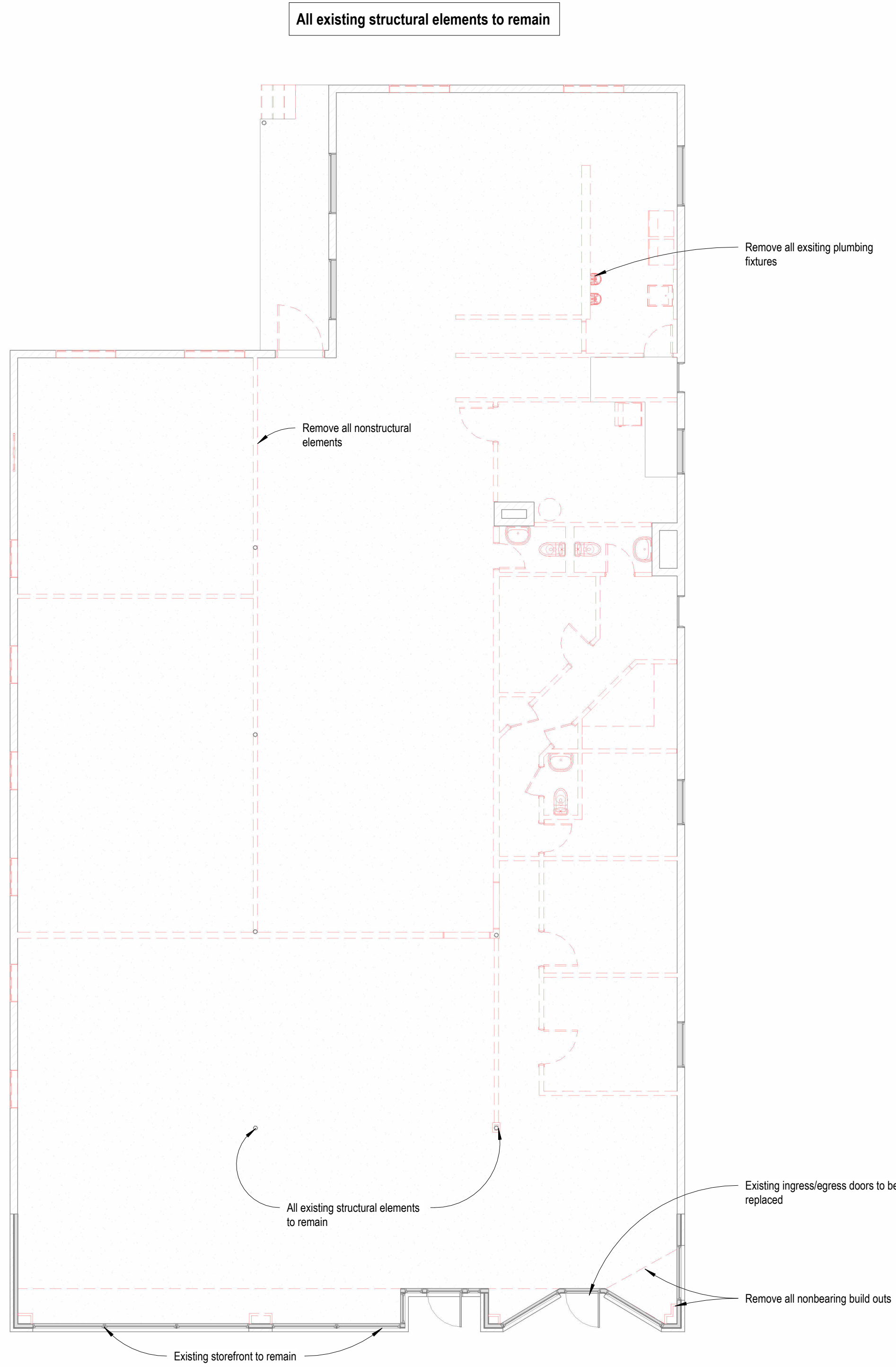
Permit
Site Plan

Dec 24 2024

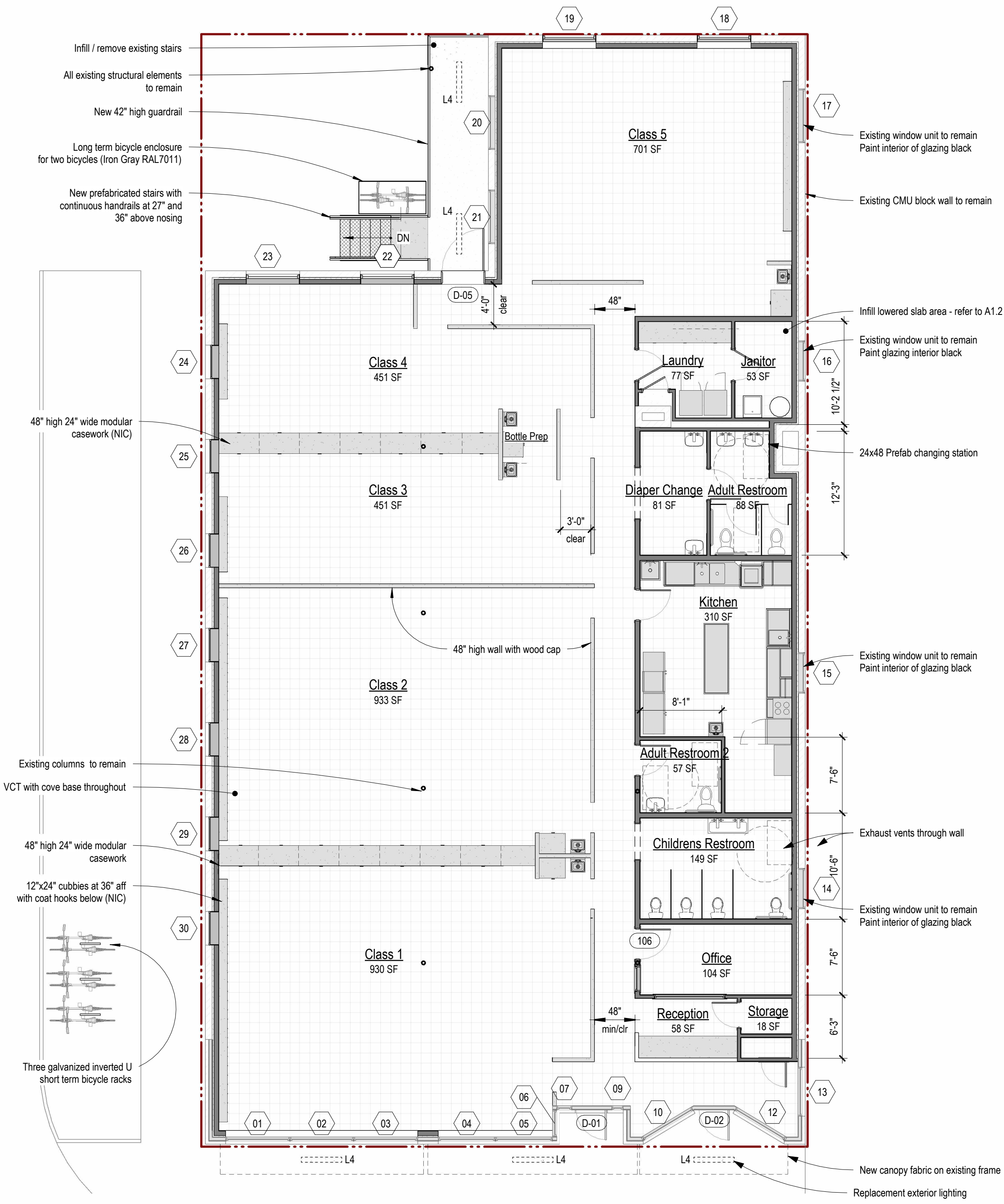
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DON 1.0
number

General Plan Notes

1. Do not scale drawings. Written dimensions govern partition locations, dimensions and types. Door and window locations shall be as shown on construction plan. In case of conflict, notify Architect for written clarification prior to proceeding with construction. Commencement of work shall be deemed as the GC's acknowledgment of all work to complete project in conformance with contract documents and schedule.
2. General Contractor to review all documents and verify all dimensions and field conditions and confirm that work is buildable as shown in drawings. Any conflicts or omissions shall be immediately reported to the Architect for clarification prior to proceeding with work in question or ordering materials for work.
3. Job site shall be kept clean and safe during all phases of construction.
4. Protect building from water damage during all phases of construction.
5. General Contractor shall notify the Architect of any utilities, not covered in the construction/demolition documents, which may interfere with completing the work. When removal is approved by the Architect, General Contractor shall inspect, test, and disconnect the specified utility, cut back to source and cap.
6. All partitions are dimensioned from face of framing, unless otherwise noted.
7. All dimensions marked "clear" or "cl" shall be maintained and shall allow for thickness of all finishes including floor finishes.
8. Dimensions locating doors by edge are to the inside edge of jamb, unless otherwise noted (typ. 4 1/2" from wall to allow for full un-ripped jamb leg trim).
9. Dimensions shown as v.i.f. shall be verified by the Contractor in the field. Contractor shall notify Architect of any discrepancy in dimensions prior to proceeding with the work in that area.
10. "Align" shall mean accurately locate finish faces in the same plane.
11. "Typical" or "typ" shall mean that the condition is representative for similar conditions throughout, unless otherwise noted. Details are usually keyed and noted "typ" only once, when they first occur.
12. "Similar" or "sim" means comparable characteristics for the conditions noted.
13. Verify dimensions and orientation on plans and elevations.
14. Work areas to remain secure and lockable during construction. The General Contractor shall coordinate with owner to ensure security.
15. Coordinate and provide backing for millwork and items attached or mounted to walls or ceilings.
16. Undercut doors to clear top of floor finishes by 1/4", unless otherwise noted.
17. All mechanical and electrical scope of work is design/build by respective subcontractors. Fixture, grille, switch, and outlet locations should be considered during framing - and final locations should be approved by Architect prior to installation.
18. All stairs shall have a handrail with 2" Ø grip 36" above nosing of tread.
19. All new exterior walls to be 2x6 framing u.n.o.
20. All new interior walls to be 2x4 framing u.n.o.



1 Demolition Plan
1/8" = 1'-0"



2 Proposed Renovation
1/8" = 1'-0"

Project
24-02
number

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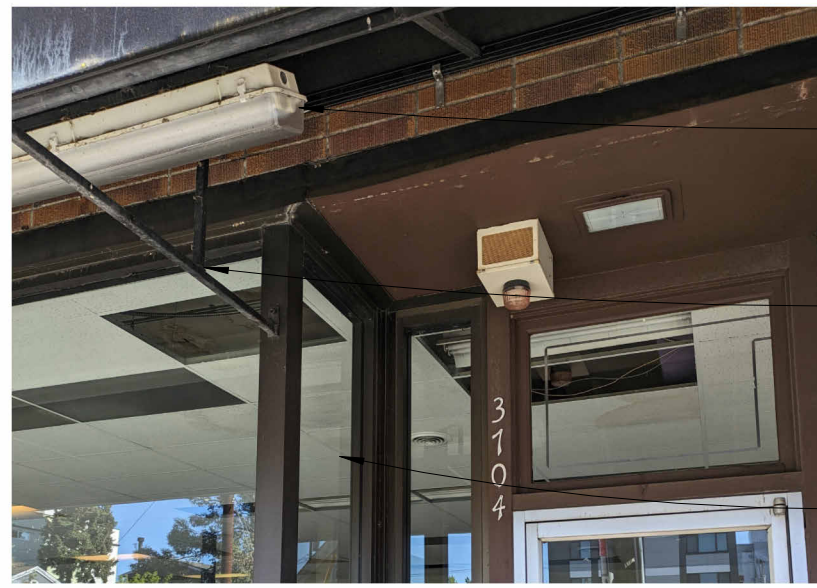
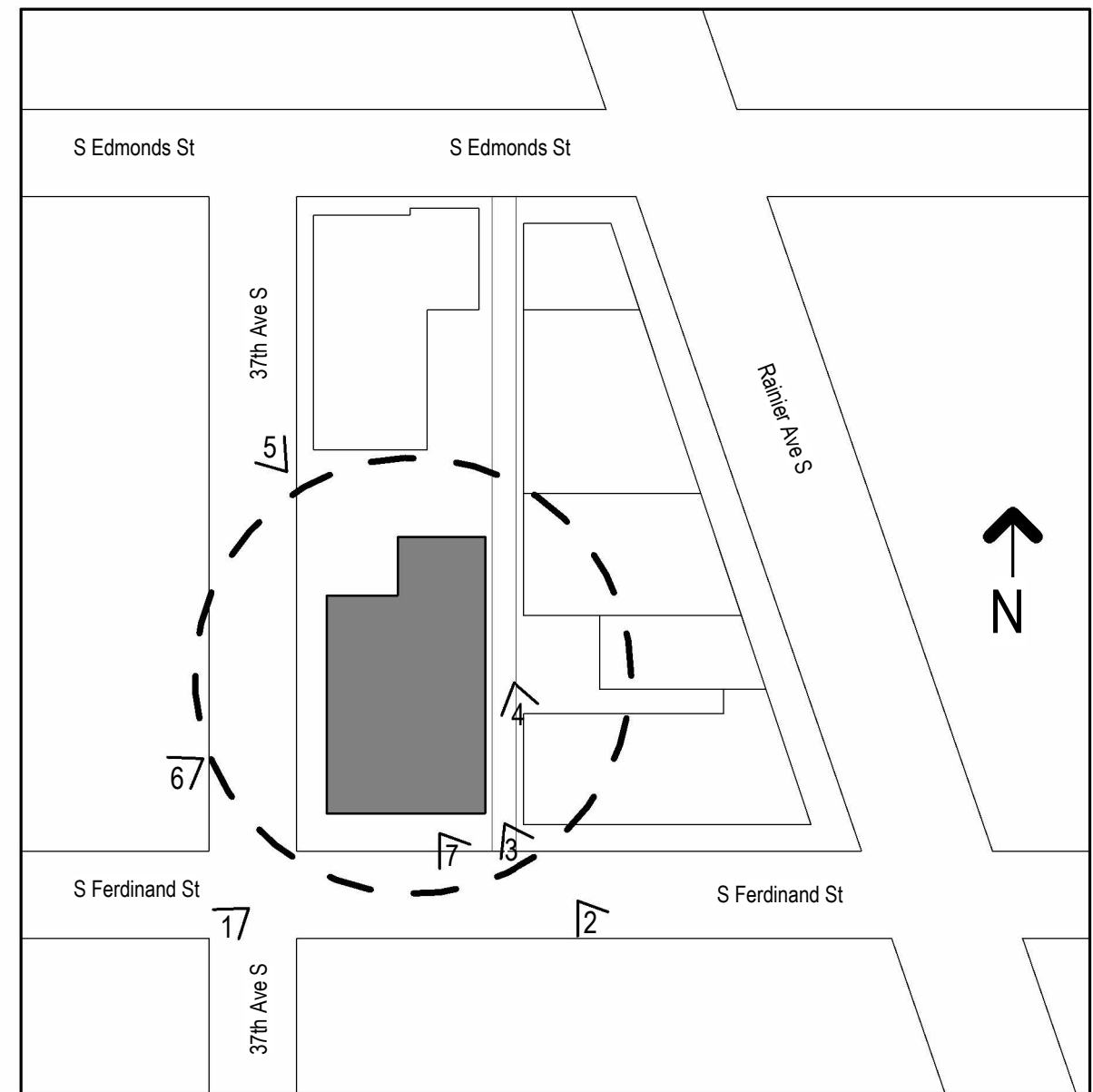
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	1	DOE Review	Dec 23 2024
	2	DOE Review 2	Feb 11 2025
	3	DOE Review 3	Mar 26 2025
	4	DOE Review 4	April 22 2025

Permit
Demolition and Proposed Plan

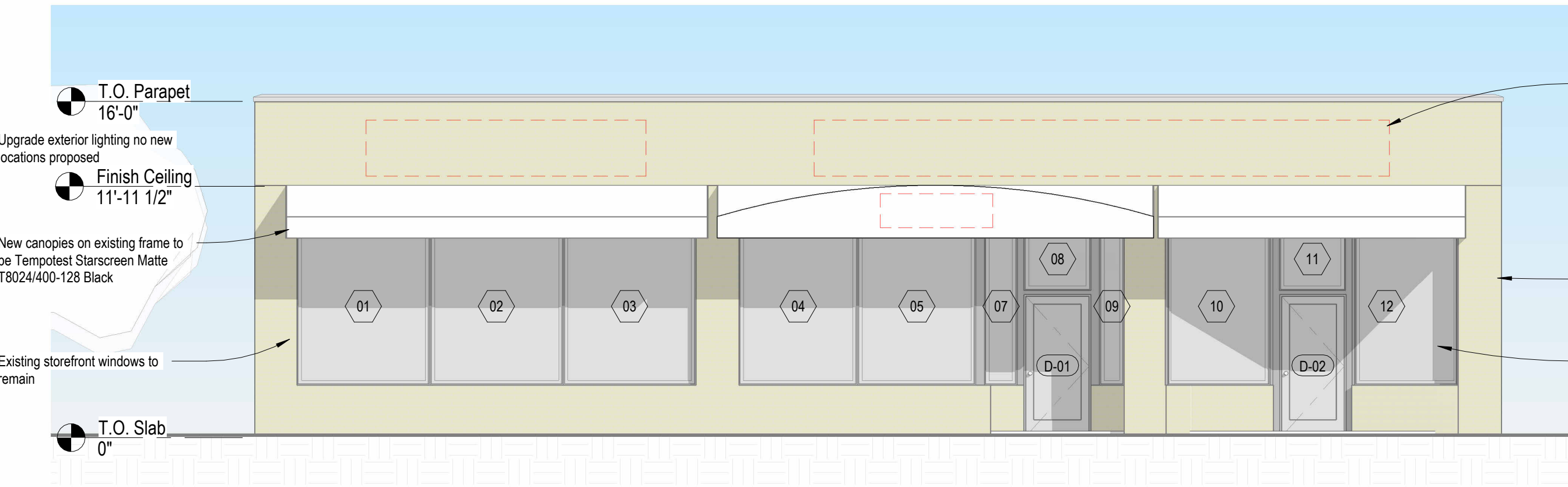
Dec 24 2024

sheet
DON 2.0
number

Site Locus



Site photo 7 - S facade exterior lighting



1 Proposed South Elevation
3/16" = 1'-0"



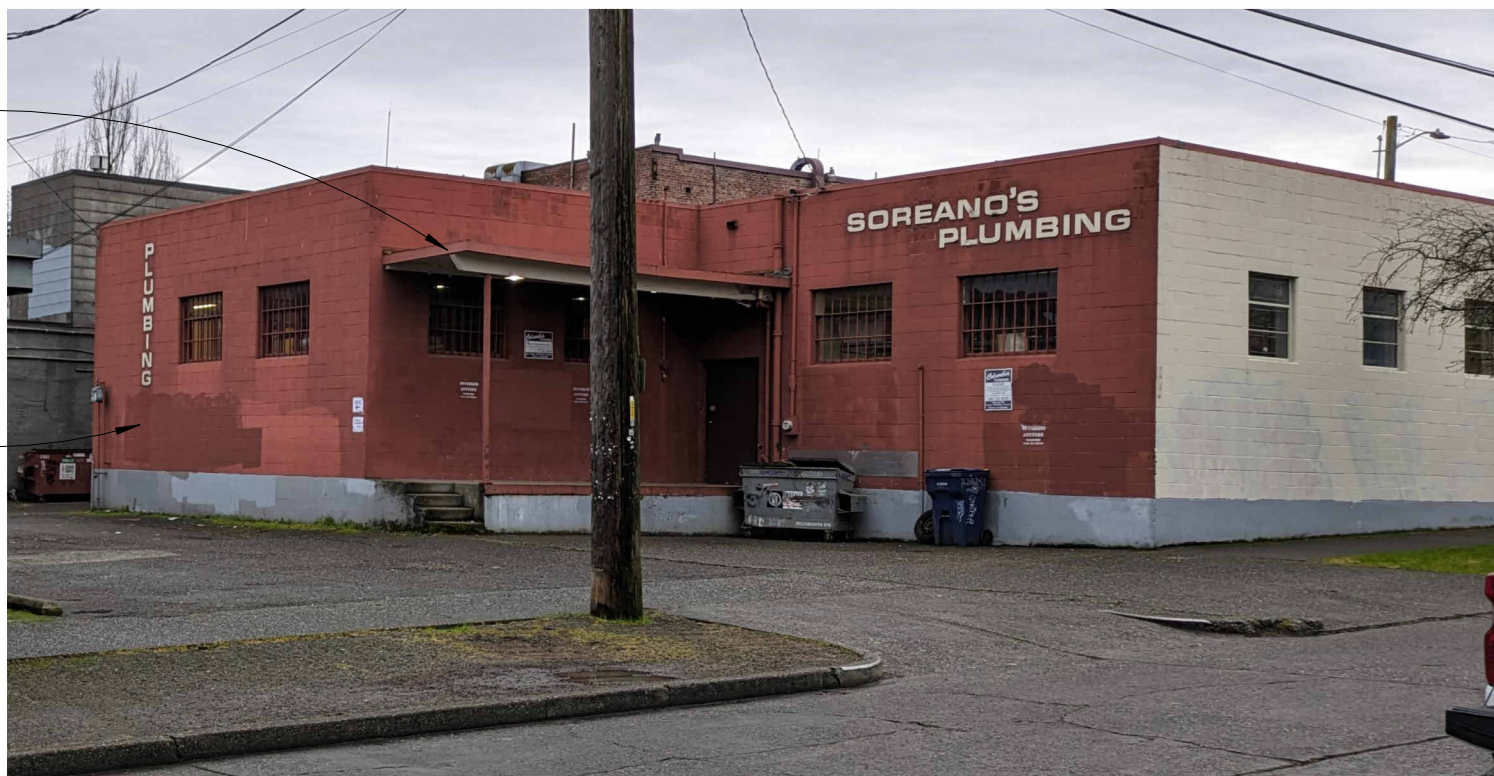
Site photo 3 - E facade

Proposed Awning Material - matte finish



Site photo 1 - S and partial W facade

- Patch repair and repaint existing low roof - Paint color 1
- Remove existing signage
- Existing storefront windows remain
- New paint at all cmu walls Paint color 2

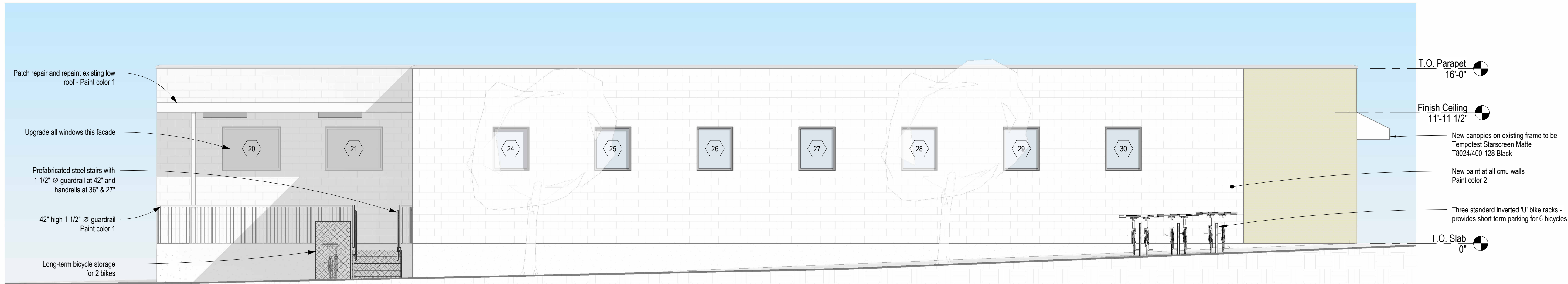


Site photo 5 - N and partial W facade



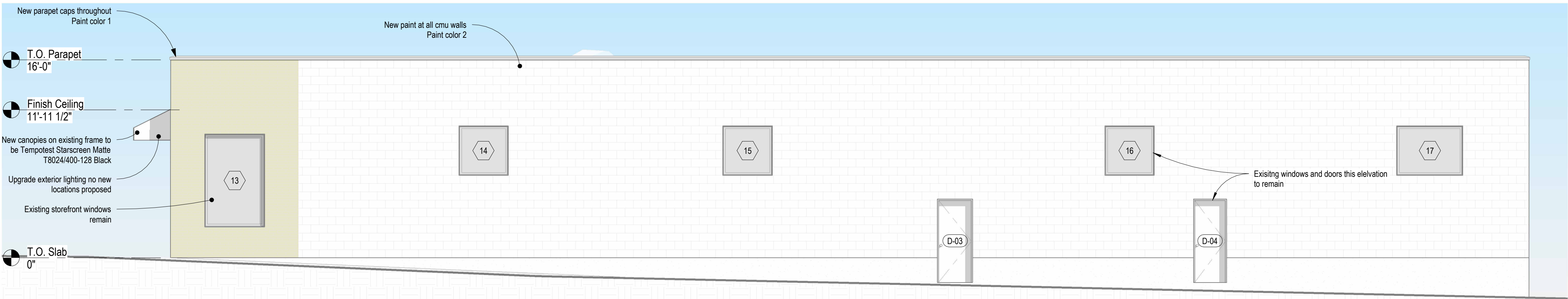
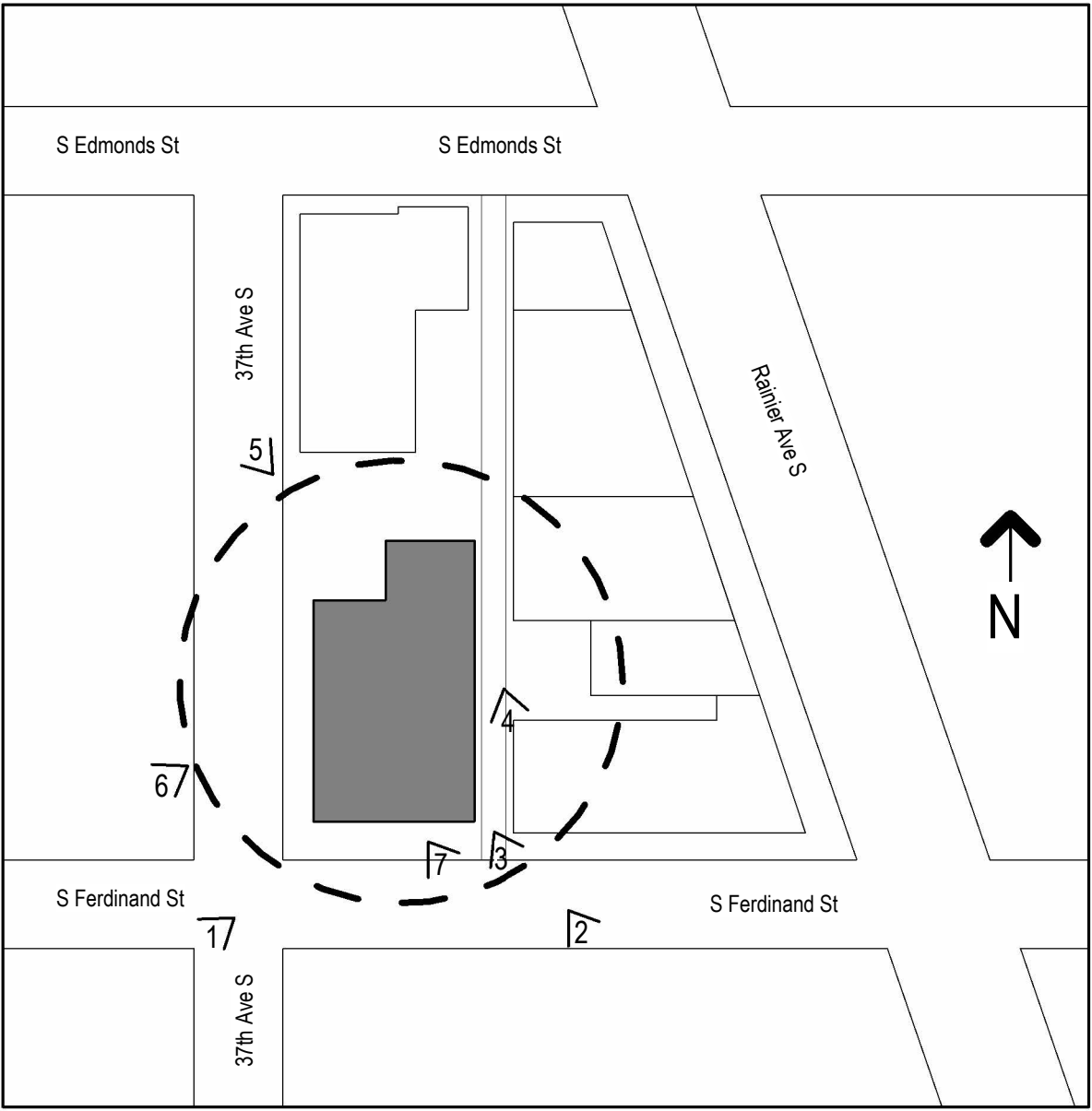
Site photo 6 - Partial W facade

- New parapet caps throughout Paint color 1
- Remove existing signage
- Repoint and repair existing brick
- New paint at all cmu walls Paint color 2
- Three standard inverted 'U' bike racks - provides short term parking for 6 bicycles



2 Proposed West Elevation
3/16" = 1'-0"

Site Locus



1 Proposed East Elevation
3/16" = 1'-0"



Site photo 2 - S and partial E facade



Site photo 3 - E facade



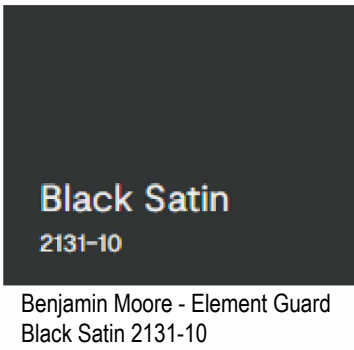
Site photo 4 Partial E facade



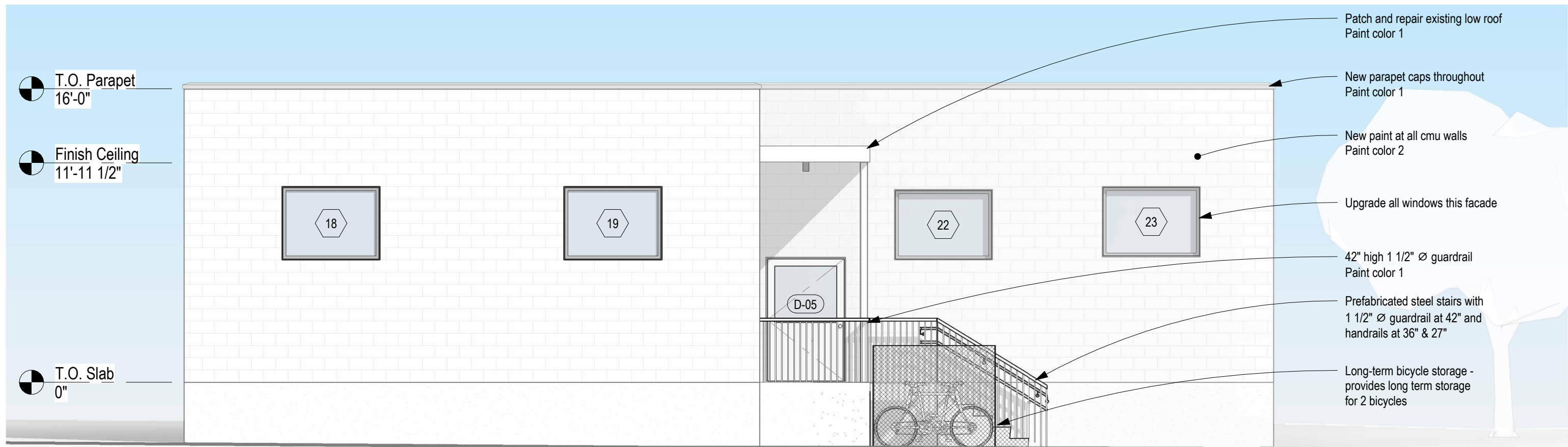
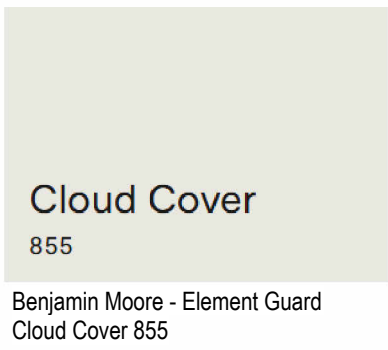
Site photo 5 - N and partial W facade

Long-term bicycle storage - provides long term storage for 2 bicycles

Paint Color 1



Paint Color 2



2 Proposed North Elevation
3/16" = 1'-0"

Contractor Select™
CSVT
Vapor Tight LED Strip Light



These fully-gasketed, wet-location, and code-compliant vapor tights are and IP65 and IP66 rated. They can be surface mounted on the ceiling or wall and are designed for continuous row mounting. The CSVT vapor tights are ideal for outdoor venues, canopies and locker rooms.

FEATURES:

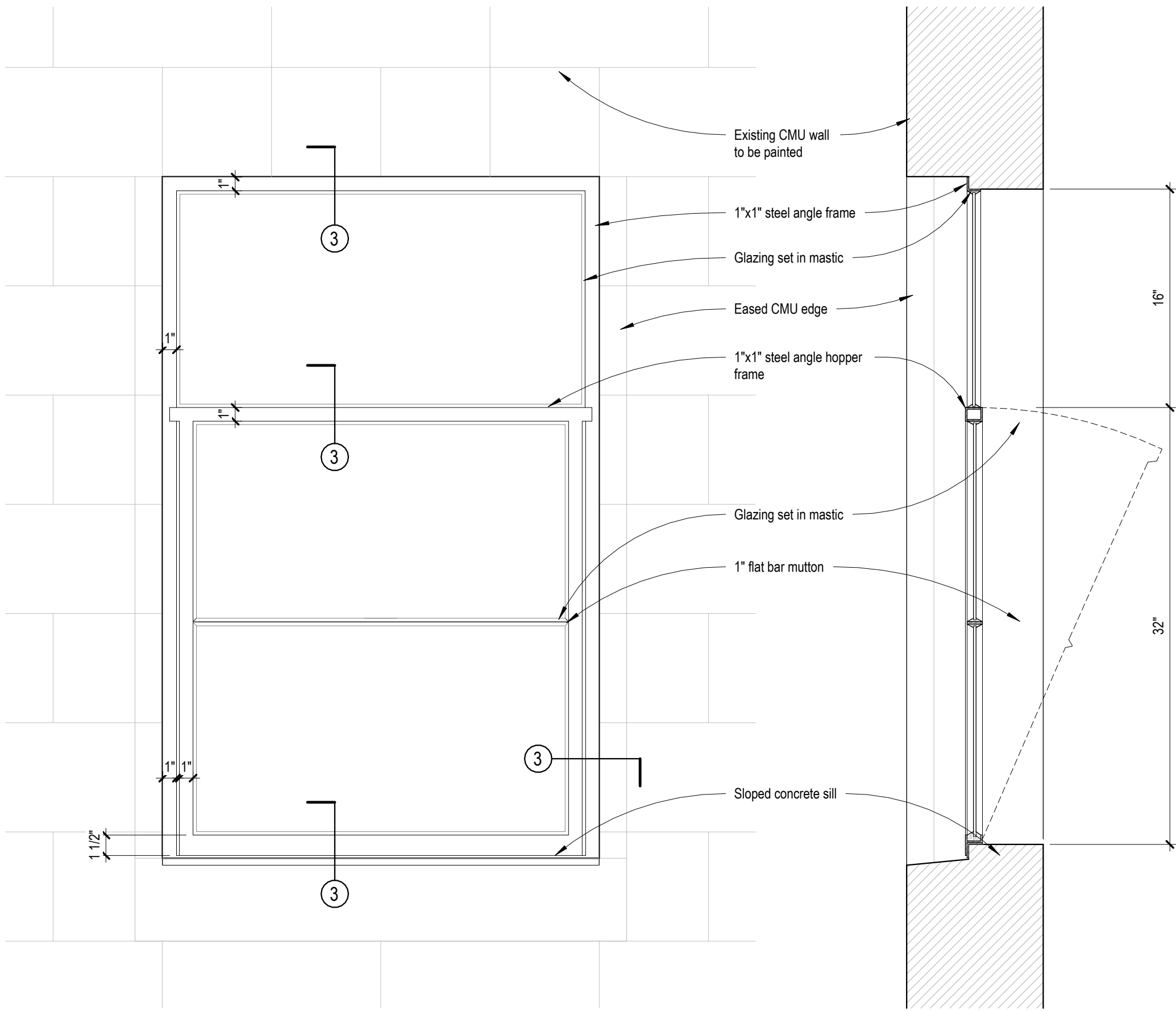
- The fully gasketed, polycarbonate housing with polycarbonate captive latches provides a water-tight seal and stands up to dust and dirt with its IP65 and IP66 ratings
- Provides the performance you need with the UV-stabilized, high-impact, frosted polycarbonate lens for uniform light output and high impact-resistance
- Quick and simple to install with the snap-lock tool-less access
- Available with Switchable technology



Catalog Number	UPC	Description	Lumens	Wattage	Voltage	Color Temperature	Color Rendering Index
CSVT L48 5000LM MVOLT 40K 80CRI	00194995069408	4' MVOLT Vapor Tight LED Strip Light	4946	42	MVOLT (120-277)	4000K	80CRI
CSVT L48 AL03 MVOLT SSW3 80CRI	00194995069507	4' MVOLT Switchable LED Vapor Tight Strip Light	3106 - 4946	27 - 42	MVOLT (120-277)	35K/40K/50K	80CRI
CSVT L96 10000LM MVOLT 40K 80CRI	00194995280858	8' MVOLT LED Vapor Tight Strip Light	10300	87.9	MVOLT(120-277)	4000K	80CRI
CSVT L96 AL04 MVOLT SSW3 80CRI	00194995069446	8' MVOLT LED Vapor Tight Strip Light	6495-10300	55.3-87.9	MVOLT(120-277)	35K/40K/50K	80CRI

Replacement Exterior lighting

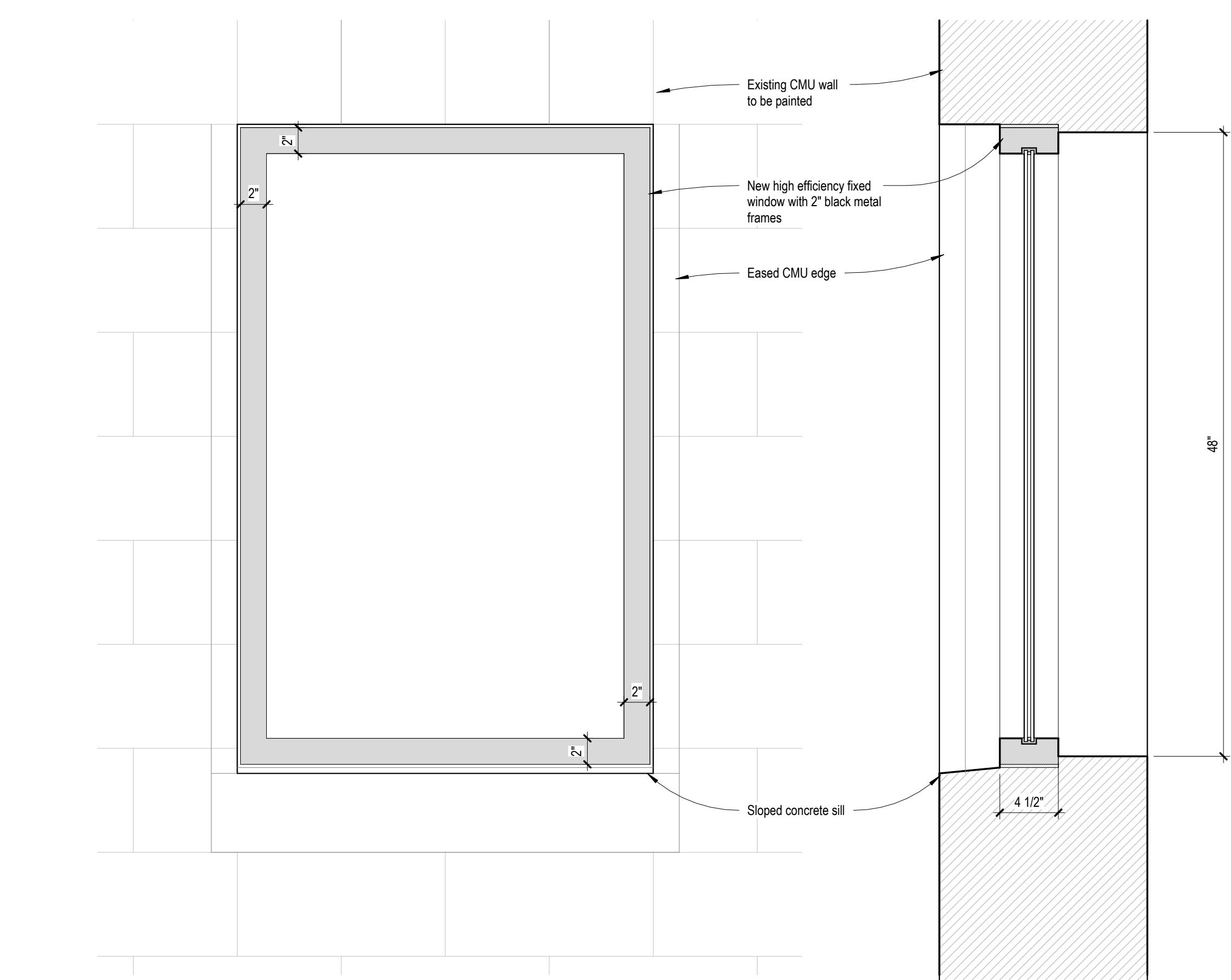
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1 DON - Existing Windows to be Removed
1 1/2" = 1'-0"



Existing Windows to be Replaced



2 Proposed Windows
1 1/2" = 1'-0"



Existing Windows to be Replaced



Existing Windows to be Replaced



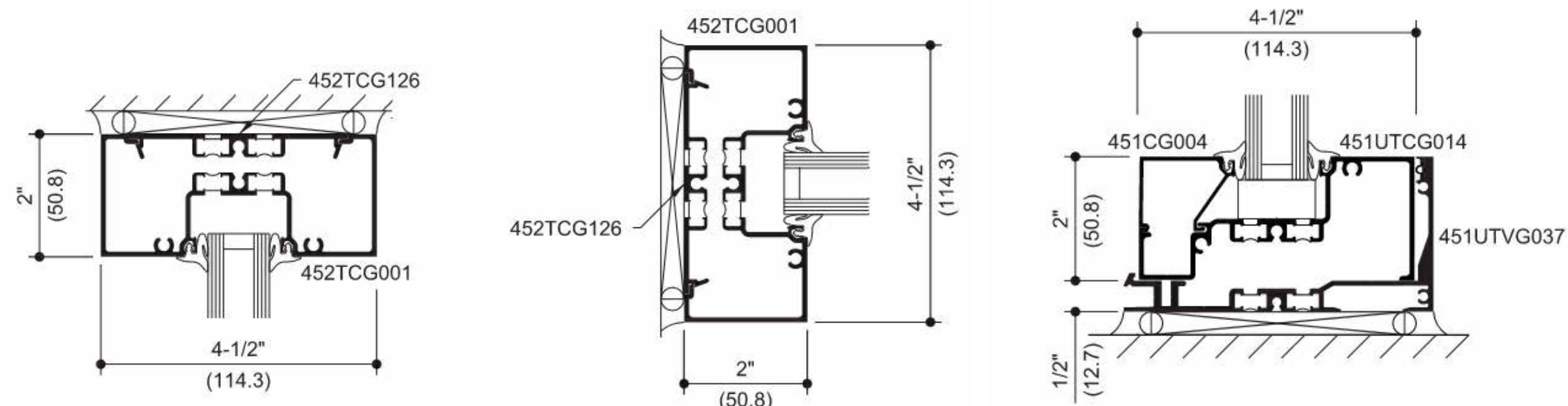
Existing Windows to be Replaced



Existing Windows to be Replaced



Trifab 451UT Framing System



Plan: Typ Window Head

Plan: Typ Window Jamb

Plan: Typ Window Sill

3 DON - Existing Windows Detail
6" = 1'-0"



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Permit
Window Replacement

Dec 24 2024

sheet
DON 4.0
number